

ABBREVIATIONS:

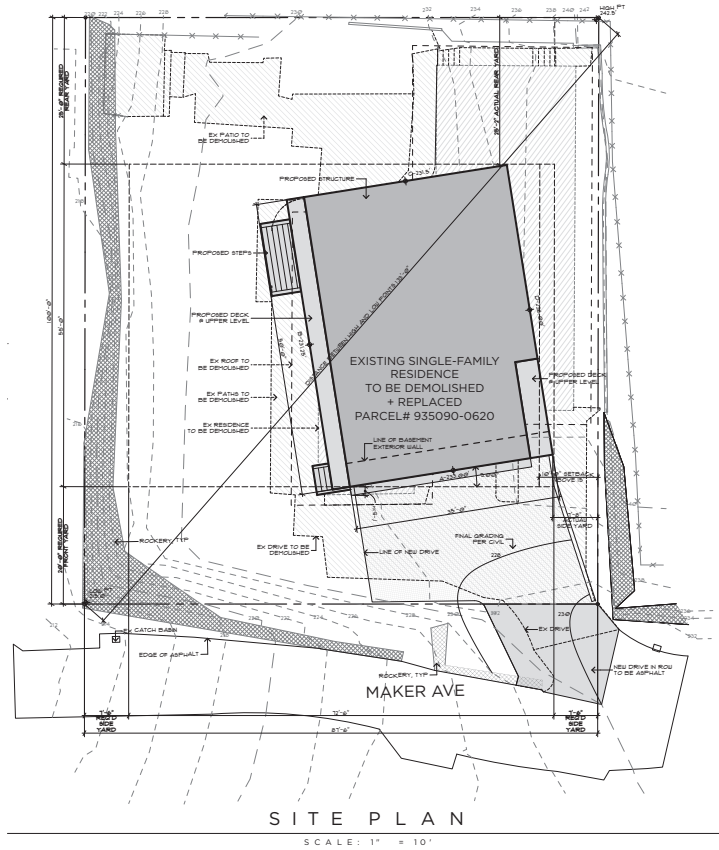
ABV	ABOVE
ABF	ABOVE FINISHED FLOOR
BLW	BELOW
BOT	BOTTOM
BOW	BOTTOM OF WALL
CAB	CABINET
CL	CENTERLINE
CC	CONCRETE
CONT	CONTIGUOUS
CP	CENTERPOINT
DET	DETAIL
DM	DIMETER
DM	DIMENSION
DR	DOOR
DS	DOWNSPOUT
D/W	DISHWASHER
EA	EACH
EX	EXISTING
EXT	EXTERIOR
FC	FACE OF CONCRETE
FW	FACE OF WALL
FN GRDE	FINISHED GRADE
FRON	FOUNDATION
FLR	FLOOR
FLR	FIREPLACE
GA	GABRIE
GB	GYPISUM WALL BOARD
HB	HIDE BIBB
HGT	HIGHT
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
LV	LOW VOLTAGE
METL	METAL
MFR	MANUFACTURER
N/A	NOT APPLICABLE
NC	NOT IN CONTRACT
NFC	NOT FOR CONSTRUCTION
OC	ON CENTER
PL	PRIORITY LINE
RAO	RADIUS
RE	REFER TO
SH	SHOULDER
TBD	TO BE DETERMINED
TG	TEMPERED GLASS
T&G	TONGUE & GROOVE
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WD	WOOD
W/W	WINDOW

DUTY OF COOPERATION:

RELEASE: ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, THE CONTRACTOR, JEFFREY ALMETER, ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO JEFFREY ALMETER. FAILURE TO DO SO SHALL RELIEVE JEFFREY ALMETER FROM ANY RESPONSIBILITY OF THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF JEFFREY ALMETER IS UNAUTHORIZED. FAILURE TO OBSERVE THESE PROVISIONS SHALL RELIEVE JEFFREY ALMETER OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH ACTIONS.

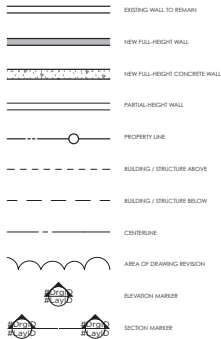
MERCER RESIDENCE
6950 SE MAKER ST, MERCER ISLAND, WA 98040



SITE PLAN

SCALE: 1" = 10'

PLAN LEGEND:



GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS BUILT.
- APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS.
- THE CONTRACTOR SHALL SCHEDULE WALK-THROUGHS AT EACH OF BELOW NOTED INTERVALS.
 - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - PRIOR TO THE COMMENCEMENT OF ALL MECHANICAL + ELECTRICAL WORK.
 - PROVIDE ALL NECESSARY BARRICADES, WARNING SIGNS, + DEVICES TO PROTECT PUBLIC + CONSTRUCTION PERSONNEL DURING CONSTRUCTION.
 - MAINTAIN ALL REQUIRED ACCESS + EGRESS DURING CONSTRUCTION.

LOT COVERAGE CALCS:

LOT AREA	8,750 SF
MAXIMUM ALLOWABLE LOT COVERAGE (LOT SLOPE 15-30%)	(52%) 4,550 SF
EXISTING RESIDENCE	1,510 SF
EXISTING DRIVE	1,100 SF
EXISTING DRIVE	1,400 SF
EXISTING LOT COVERAGE TO BE REMOVED	(52%) 4,580 SF
PROPOSED RESIDENCE	1,800 SF
PROPOSED DRIVE	423 SF
PROPOSED STEPS	(1%) 79 SF
PROPOSED LOT COVERAGE	(32.0%) 2,602 SF
PROPOSED LANDSCAPED AREA	(68.0%) 5,948 SF

IMPERVIOUS SURFACE CALCS:

LOT AREA	8,750 SF
MAXIMUM ALLOWABLE IMPERVIOUS COVERAGE (52%) 4,550 SF	52% 4,550 SF
LOT SLOPE CALCULATION	20.7% 5,610 SF
HIGH POINT 242.5	
LOW POINT 215.0	
HORIZONTAL DISTANCE 152'	
EXISTING ROOF IMPERVIOUS SURFACE	5,000 SF
EXISTING DRIVEWAY + WALKS IMPERVIOUS SURFACE	1,800 SF
EXISTING IMPERVIOUS	4,800 SF
EXISTING IMPERVIOUS TO BE REMOVED	4,800 SF
EXISTING IMPERVIOUS SURFACE TO REMAIN	0 SF
PROPOSED STRUCTURE IMPERVIOUS	1,847 SF
PROPOSED DRIVEWAY + WALKS IMPERVIOUS	800 SF
STEPS AT DEC BOOM + DRIVEWAY	79 SF
TOTAL PROPOSED IMPERVIOUS	2,766 SF
TOTAL IMPERVIOUS SURFACE UPON COMPLETION	(32.5%) 2,646 SF

FLOOR AREAS:

LOT AREA	8,750 SF
MAXIMUM ALLOWABLE GFA	(40%) 3,500 SF
BASEMENT GFA (EXCLUDED)	(15%) 1,312 SF
FIRST FLOOR GFA	1,700 SF
SECOND FLOOR GFA	1,688 SF
SECOND FLOOR COVERED DECOR GFA	62 SF
TOTAL GROSS FLOOR AREA	(39.9%) 5,660 SF

AVERAGE BUILDING ELEVATION CALCS:

SEGMENT "A" ELEVATION	235.00'
SEGMENT "A" LENGTH	50'
SEGMENT "A" ELEVATION x LENGTH	8,155.00 SF
SEGMENT "B" ELEVATION	235.20'
SEGMENT "B" LENGTH	50'
SEGMENT "B" ELEVATION x LENGTH	11,562.50 SF
SEGMENT "C" ELEVATION	231.10'
SEGMENT "C" LENGTH	35'
SEGMENT "C" ELEVATION x LENGTH	8,102.50 SF
SEGMENT "D" ELEVATION	236'
SEGMENT "D" LENGTH	50'
SEGMENT "D" ELEVATION x LENGTH	11,800.00 SF
TOTAL OF AGGREGATE ELEVATION	39,620
TOTAL OF SEGMENT LENGTHS	170'
AVERAGE BUILDING ELEVATION	232.00'

PROJECT INFO:

PROJECT ADDRESS:
6950 SE MAKER ST
MERCER ISLAND, WA 98040

SCOPE OF WORK:
NEW SINGLE FAMILY RESIDENCE

ZONE:
R-5.4

LEGAL DESCRIPTION:
WHITE BRUSH 170 EAST SEATTLE 46-47-48 & W 52 OF 49, BLOCK S, LOT 48 TO 49

ACCESSOR'S PARCEL NUMBER:
935090-0620

BUILDING CODE + OCCUPANCY:
2018 IRC (ARCHITECTURAL) + IRC (STRUCTURAL)
R-5 SINGLE FAMILY RESIDENTIAL (RESIDENCE)
U STORAGE (GARAGE, STORAGE)

TYPE OF CONSTRUCTION:
TYPE-VB NON-SPRINKLERED

VICINITY MAP:



PROJECT TEAM:

CLIENT:
MERCER RESIDENCE
6950 SE MAKER ST
MERCER ISLAND, WA 98040

ARCHITECT / APPLICANT:
JEFFREY ALMETER
2928 15TH AVE NW
SEATTLE, WA 98177
305.903.1783

SURVEYOR:
TERRANCE
1080 MARSH STREET SUITE 103
BELLEVUE, WA 98004
425.458.4488

GEOTECHNICAL ENGINEER:
GEOTECH CONSULTANTS - ADAM HOYER
2405 10TH AVE E
SEATTLE, WA 98102
425.747508

CIVIL ENGINEER:
GOLDENTHORN ENGINEERING - MARK BARBER
1400 SE 8TH ST SUITE 450
BELLEVUE, WA 98004
425.462.0380

STRUCTURAL ENGINEER:
DS ENGINEERING - DON SHIN
321 14TH PLACE SE
MILL CREEK, WA 98012
425.538.4776

CONTRACTOR:
TBD

SHEET INDEX:

A10	PROJECT INFORMATION
A11	SURVEY
C-1	TEST PLAN
C-2	GRADING + DRAINAGE + UTILITY PLAN
C-3	DETAILS AND NOTES
A2.0	BASEMENT FLOOR PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING SECTIONS
S2.0	GENERAL STRUCTURAL NOTES + DETAILS
S1.1	SECTIONS + DETAILS
S2.1	FOUNDATION + FIRST FLOOR FRAMING PLANS
S2.2	SECOND FLOOR + ROOF FRAMING PLANS



MERCER RESIDENCE
6950 SE MAKER ST, MERCER ISLAND, WA

PROJECT INFORMATION

RELEASE
21 MARCH 2022

A 1 . 0

MAKER AVE
10.11.2021

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION

(PER PERSONAL REPRESENTATIVE DEED RECORDING# 20210415002461)
 LOTS 46, 47, 48 AND THE WEST ONE-HALF OF LOT 49 IN BLOCK 3 OF WHITE BROTHERS FIRST ADDITION TO EAST SEATTLE, AS PER PLAT RECORDED IN VOLUME 4 OF PLATS, PAGE 100, RECORDS OF KING COUNTY AUDITOR;
 SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD N 88°48'41" W BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF SE 32ND ST PER GPS OBSERVATIONS, NAD83/2011 WASHINGTON STATE PLANE, NORTH ZONE.

REFERENCES

R1. RECORD OF SURVEY, VOL. 133, PG. 28.
 R2. RECORD OF SURVEY, VOL. 7, PG. 171.
 R3. PLAT OF WHITE & NOBLES FIRST ADD., REC. NO. 188950232489, RECORDS OF KING COUNTY, WASHINGTON.

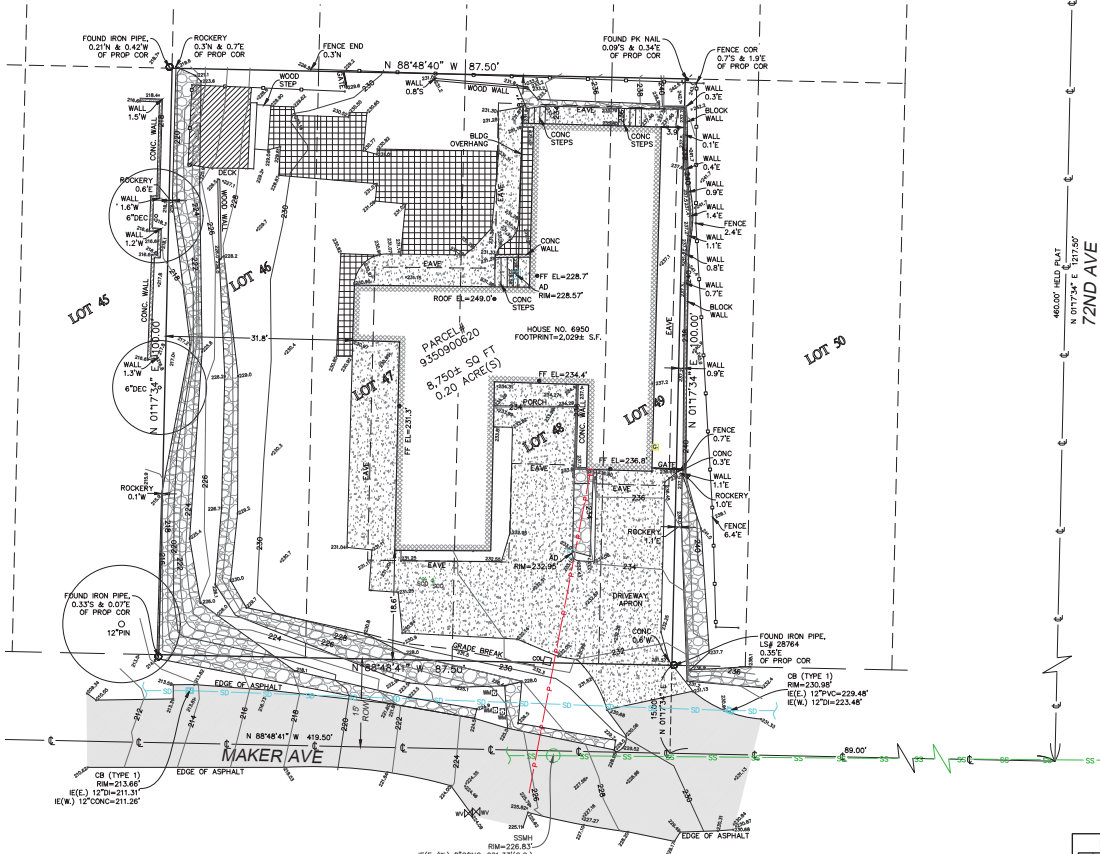
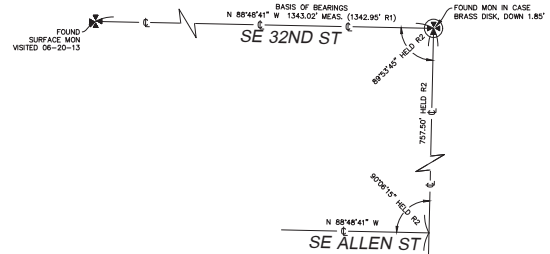
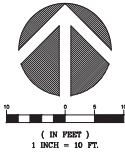
VERTICAL DATUM

NAVD88, PER GPS OBSERVATIONS.

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 9350900620.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 8,750± S.F. (0.20 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC D-S-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

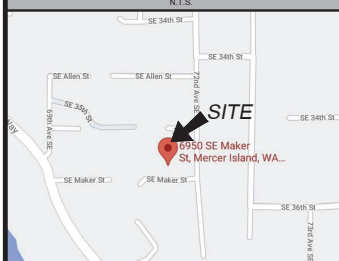
STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURRENT KNOWLEDGE OF READILY AVAILABLE PUBLIC DOCUMENTS. AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



LEGEND

- | | | | |
|--|---------------------------|--|------------------|
| | AREA DRAIN | | NAIL AS NOTED |
| | ASPHALT SURFACE | | PAVER SURFACE |
| | BUILDING | | POWER METER |
| | CENTERLINE ROW | | POWER (OVERHEAD) |
| | COLUMN | | SEWER LINE |
| | CONCRETE SURFACE | | SEWER MANHOLE |
| | RETAINING WALL | | STORM DRAIN LINE |
| | DECK | | SEWER CLEANOUT |
| | FENCE LINE (WOOD) | | GAS METER |
| | GAS METER | | INLET (TYPE 1) |
| | INLET (TYPE 1) | | WATER LINE |
| | MONUMENT IN CASE (FOUND) | | WATER METER |
| | MONUMENT (SURFACE, FOUND) | | WATER VALVE |

VICINITY MAP



INDEXING INFORMATION

NW	1/4	SW	1/4
SECTION 32			
TOWNSHIP 24N			
RANGE 4NE, W.M.			
COUNTY, KING			

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 9350900620

STRAND RESIDENCE
 6850 SE MAKER STREET
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425-458-4488 support@terrane.net
 www.terrane.net

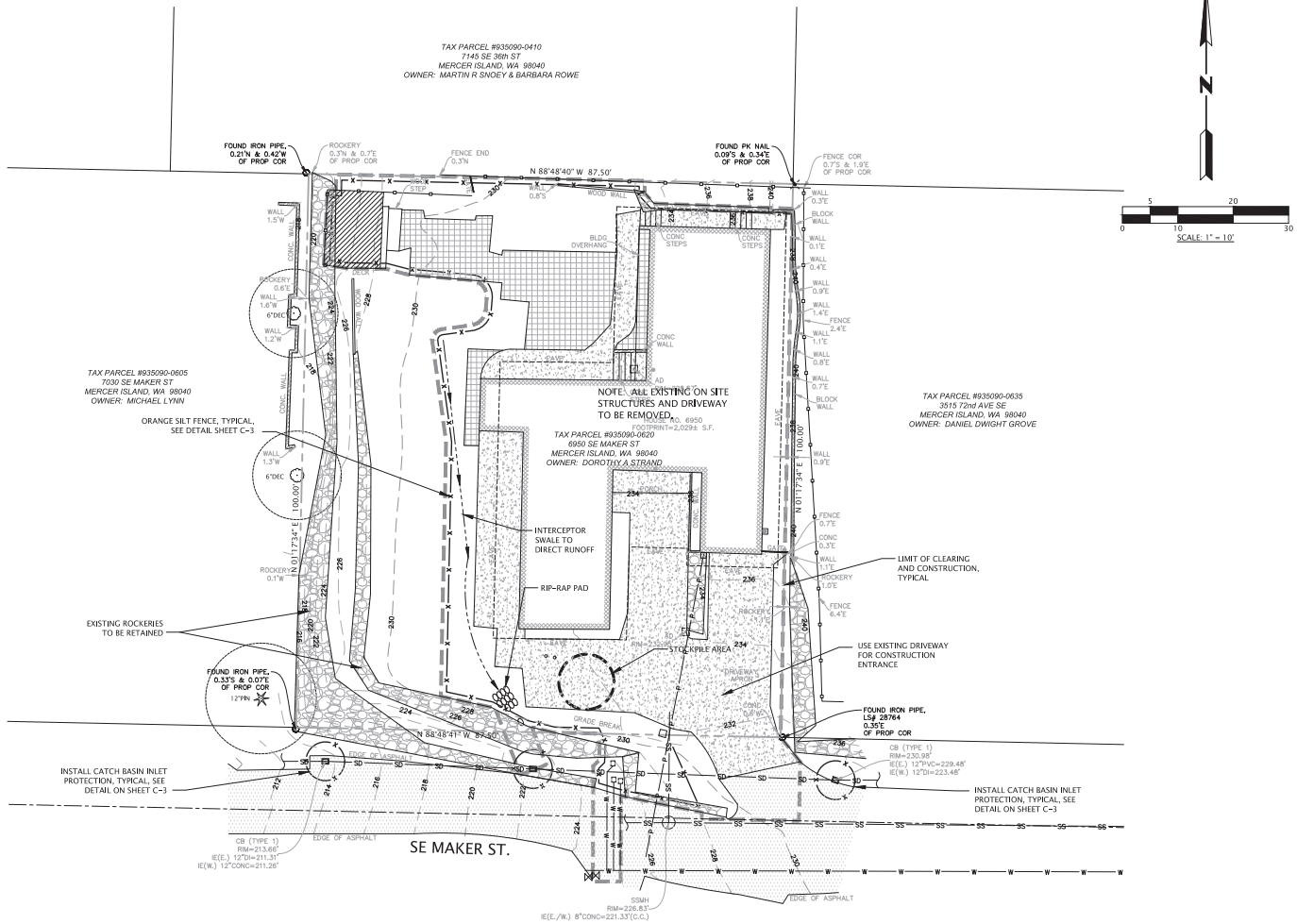
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 DATE: 08/27/2021
 DRAFTED BY: RSN
 CHECKED BY: TBR / JGM
 SCALE: 1" = 10'

REVISION HISTORY

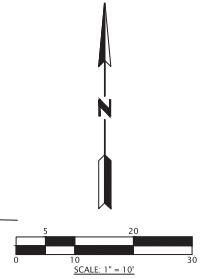
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SHEET NUMBER
 1 OF 1

NW ¼, SW ¼ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M.
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON



- LEGEND**
- ☐ AREA DRAIN
 - ▨ ASPHALT SURFACE
 - ▤ BUILDING
 - CENTERLINE ROW
 - COLUMN
 - ▨ CONCRETE SURFACE
 - ▨ RETAINING WALL
 - ▨ DECK
 - FENCE LINE (WOOD)
 - ☐ GAS METER
 - ☐ INLET (TYPE 1)
 - ☒ MONUMENT IN CASE (FOUND)
 - ☒ MONUMENT (SURFACE, FOUND)
 - ✕ NAIL AS NOTED
 - ▨ PAVEMENT SURFACE
 - ☐ POWER METER
 - P POWER (OVERHEAD)
 - ROCKERY
 - SS SEWER LINE
 - SEWER MANHOLE
 - SB STORM DRAIN LINE
 - SCS SEWER CLEANOUT
 - TREE (AS NOTED)
 - WATER LINE
 - ☐ WATER METER
 - WATER VALVE



- LEGEND (EROSION)**
- /—/— EXISTING CONTOUR LINE
 - /—/— PROPOSED CONTOUR LINE
 - /—/— PROPOSED SILT FENCE
 - /—/— PROPOSED LIMIT OF CONSTRUCTION
 - PROPOSED CATCH BASIN INSERT
 - EXISTING TREE TO BE RETAINED
 - ☒ EXISTING TREE TO BE REMOVED
 - /—/— TREE PROTECTION

SURVEY NOTE
EXISTING SURVEY INFORMATION SHOWN HEREON IS BASED ON SURVEY BY TERRANE SURVEYING & MAPPING, AND ELECTRONIC DRAWING FILES AS PROVIDED ON 03/25/2022. SURVEY INFORMATION HAS NOT BEEN FIELD VERIFIED BY GOLDSMITH.

TAX PARCEL #935090-0410
1745 SE 36th ST
MERCER ISLAND, WA 98040
OWNER: MARTIN R SNOEY & BARBARA ROWE

TAX PARCEL #935090-0605
7030 SE MAKER ST
MERCER ISLAND, WA 98040
OWNER: MICHAEL LYNN

NOTE: ALL EXISTING ON SITE
STRUCTURES AND DRIVEWAY
TO BE REMOVED.

TAX PARCEL #935090-0635
3015 72nd AVE SE
MERCER ISLAND, WA 98040
OWNER: DANIEL DWIGHT GROVE

TAX PARCEL #935090-0620
6950 SE MAKER ST
MERCER ISLAND, WA 98040
OWNER: DOROTHY & STRAND



PLOTTED:	2022-07-10 13:46	MSABBER
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FIELD BOOK:		
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L:\2022\22038\3 DEVELOPMENT\CAD\POST DRAWINGS\BUILDING PERMIT\22038B01.DWG

Digitally signed by Mark Barber
Date: 2022.07.10 13:47:45-0700



DOROTHY STRAND
TESC PLAN FOR STRAND PROPERTY
6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON



JOB NO. 22038
SHEET

C-1

NW ¼, SW ¼ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M.
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON

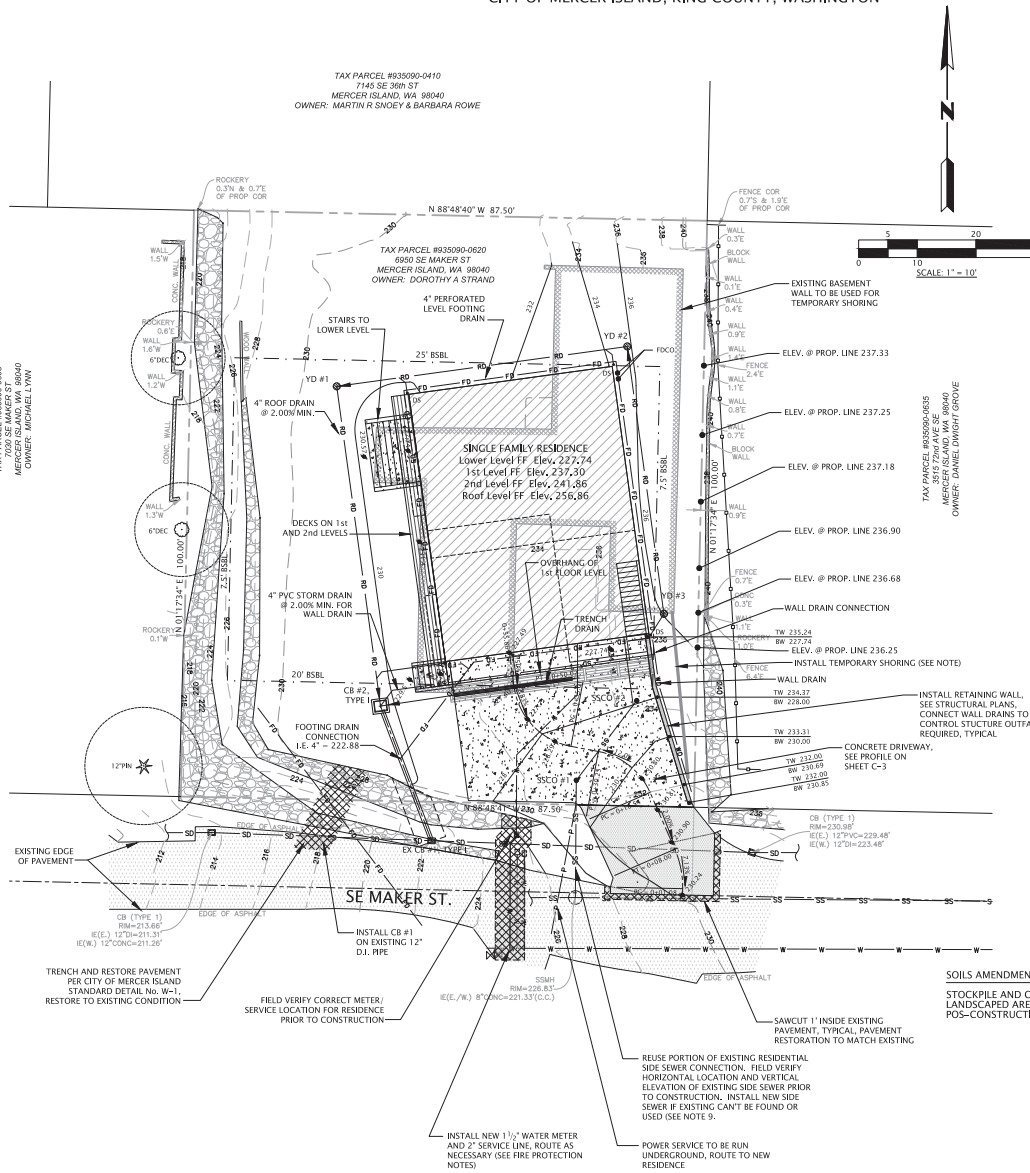
TAX PARCEL #935090-0410
1745 SE 36th ST
MERCER ISLAND, WA 98040
OWNER: MARTIN R SNOEY & BARBARA ROWE

STORM/ROOF DRAINAGE SYSTEM

- EXISTING DOWNSTREAM CB, TYPE I
RIM = 213.08
I.E. 12" CONC. (W) = 211.26
I.E. 12" D.I. (E) = 211.31
EX. 38 LF 12" D.I. SD @ 25.10%
- EX. CB #1, TYPE I
RIM = 223.33
I.E. 12" D.I. (W & E) = 220.83
I.E. 6" PVC (N) = 221.33
24 LF 6" PVC SD @ 15.70%
- CB #2, TYPE I
SOLID I/D = 230.00
I.E. 4" (N) = 225.10
I.E. 4" (E) = 226.50 (FROM TRENCH DRAIN)
I.E. 4" (NE) = 225.10 (FROM WALL DRAIN)
I.E. 6" (S) = 225.10
- 55 LF 4" PVC RD @ 3.45%
- YD #1
RIM = 230.00
I.E. 4" = 227.00
- 50 LF 4" PVC RD @ 10.00%
- YD #2
RIM = 235.50
I.E. 4" = 232.00
- 46 LF 4" PVC RD @ 2.17%
- YD #3
RIM = 236.00
I.E. 4" = 233.00
- TRENCH DRAIN TO CB #2
13 LF 4" PVC RD @ 3.08%
- TRENCH DRAIN
GRATE = 227.40
I.E. 4" = 226.00

SANITARY SEWER

- EXISTING SSMH
RIM = 226.93
I.E. 8" CONC. (E) = 221.33
I.E. 8" CONC. (W) = 221.33
I.E. 6" SS (N) = 221.91 (ASSUMED)
EX. 20 LF 6" SS @ 2.00 (ASSUMED)
- SSCO #1
RIM = 228.89
I.E. 6" SS = 222.31
- 16 LF 6" SS @ 2.00%
- SSCO #2
RIM = 227.95
I.E. 6" SS = 222.63
- 12 LF 6" SS @ 2.00%
I.E. 6" @ HOUSE = 222.87
LOWER LEVEL FF Elev. 227.74



NOTES

- DEMOLISH EXISTING HOUSE, PATIO, DECK, WALKWAY, WALL AND DRIVEWAY PRIOR TO PROPOSED CONSTRUCTION.
- SITE AREA: 8,750 SF (0.20 AC)
- IMPERVIOUS CALCULATIONS:
ON-SITE
HOUSE = 1,808 SF
CONCRETE DRIVEWAY = 804 SF
DECK = 91 SF
STAIRS = 78 SF
RETAINING WALLS = 20 SF
NEW AND REPLACED SUBTOTAL = 2,801 SF
EX. ROCKERY / WALL = 736 SF
TOTAL IMPERVIOUS = 3,537 SF (40% OF LOT AREA)
OFF-SITE
ASPHALT DRIVEWAY = 287 SF
TOTAL PROJECT IMPERVIOUS = 3,824 SF
- EARTHWORK QUANTITY:
CLUT = 475 CY
FILL = 10 CY
- ROOF DRAIN PIPES SHALL MEET MATERIAL STANDARDS FOR SDR35 FOR PVC PIPE AND N-12 FOR SMOOTH-BORE HDPE PIPE.
- FOOTING DRAIN PIPES SHALL MEET MATERIAL STANDARDS FOR D1279 FOR PVC, WITH THE PERFORATIONS DIRECTED DOWNWARD.
- CONTRACTOR SHALL COMPLY WITH THE CITY OF MERCER ISLAND 'STORM DRAINAGE REQUIREMENTS' FOR ALL NEW CONSTRUCTION OF DRAINAGE SYSTEM IMPROVEMENTS, INCLUDING ROOF DRAINS, FOOTING DRAINS, AND DRIVEWAY/PARKING AREA DRAINS.
- CONTRACTOR TO COORDINATE EXACT LOCATION OF THE NEW METER WITH THE CITY'S WATER DEPARTMENT DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD LOCATED THE EXISTING SIDE SEWER (SS) LOCATION AND RE-USE IT FOR PROPOSED HOUSE. IF THE EXISTING SS LOCATION IS INADEQUATE FOR THE PROPOSED HOUSE, THE CONTRACTOR SHALL CONNECT THE PROPOSED SS SERVICE TO THE EXISTING SANITARY SEWER MAIN IN MAKER AVE., PER THE CITY'S STANDARD DETAIL S-17.

LEGEND (DEVELOPED)

- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- TRENCH RESTORATION
- PROPOSED SANITARY SIDE SEWER
- PROPOSED SANITARY SIDE SEWER CLEANOUT
- PROPOSED WATER SERVICE LINE
- PROPOSED WATER METER
- PROPOSED YARD DRAIN
- PROPOSED ROOF DRAIN PIPE
- PROPOSED ROOF DRAIN CLEANOUT
- PROPOSED FOOTING DRAIN PIPE
- PROPOSED FOOTING DRAIN PIPE
- PROPOSED DOWNSPOUT
- PROPOSED CONTOUR LINE
- PROPOSED CATCH BASIN, TYPE I

FIRE PROTECTION NOTES:

- FIRE SPRINKLER REQUIRED
- BUILDER AND FIRE PROTECTION DESIGNER TO CONFIRM METER AND WATER SERVICE SIZE PRIOR TO CONSTRUCTION OF WATER SERVICE

SURVEY NOTE

EXISTING SURVEY INFORMATION SHOWN HEREON IS BASED ON SURVEY BY TERRACE SURVEYING & MAPPING, AND ELECTRONIC DRAWING FILES AS PROVIDED ON 01/25/2022. SURVEY INFORMATION HAS NOT BEEN FIELD VERIFIED BY GOLDSMITH.

TEMPORARY SHORING

TEMPORARY SHORING SHALL BE INSTALLED AT THE DIRECTION OF THE PROJECT GEOTECHNICAL ENGINEER.

SOILS AMENDMENT NOTE

STOCKPILE AND COMPOST AMENDED DISTURBED LANDSCAPED AREAS PER CITY OF MERCER ISLAND POS-CONSTRUCTION SOIL MANAGEMENT

REUSE PORTION OF EXISTING RESIDENTIAL SIDE SEWER CONNECTION. FIELD VERIFY HORIZONTAL LOCATION AND VERTICAL ELEVATION OF EXISTING SIDE SEWER PRIOR TO CONSTRUCTION. INSTALL NEW SIDE SEWER IF EXISTING CAN'T BE FOUND OR USED (SEE NOTE 9).

POWER SERVICE TO BE RUN UNDERGROUND, ROUTE TO NEW RESIDENCE

SAWCUT 1" INSIDE EXISTING PAVEMENT, TYPICAL. PAVEMENT RESTORATION TO MATCH EXISTING

TRENCH AND RESTORE PAVEMENT PER CITY OF MERCER ISLAND STANDARD DETAIL No. W-1. RESTORE TO EXISTING CONDITION

FIELD VERIFY CORRECT METER SERVICE LOCATION FOR RESIDENCE PRIOR TO CONSTRUCTION

INSTALL CB #1 ON EXISTING 12" D.I. PIPE



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7/10/2022

DOROTHY STRAND

JOB NO. 22038

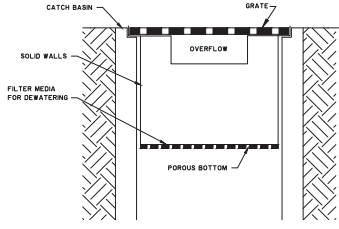
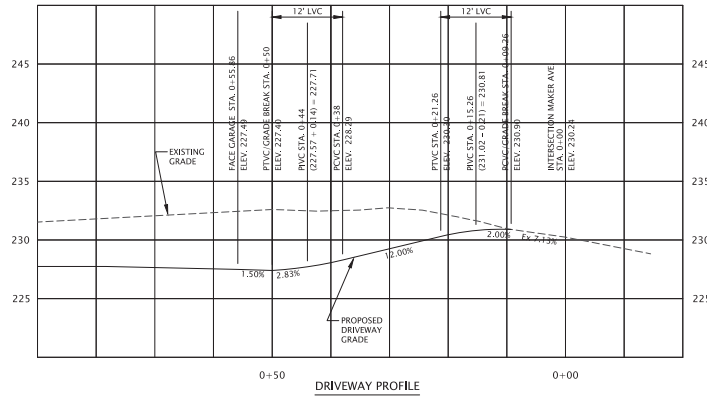
SHEET

GRADING, DRAINAGE AND UTILITY PLAN FOR STRAND PROPERTY

6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON

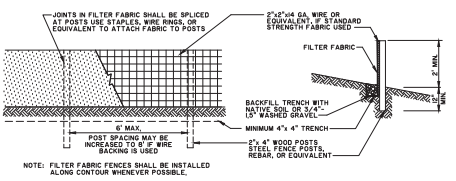
C-2

NW ¼, SW ¼ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M.
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON



- MAINTENANCE STANDARDS**
1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER. ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
 2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
 3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

- STANDARD TESC PLAN NOTES:**
1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
 6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
 7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
 8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



- MAINTENANCE STANDARDS**
1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
 2. IF CONCENTRATED FLOWS ARE EVIDENT UPHELD OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
 3. IT IS IMPORTANT TO CHECK THE SPIGOLS SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOSING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
 4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
 5. IF THE FILTER FABRIC HAS DETEIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

GOLDSMITH
LAND DEVELOPMENT SERVICES
11400 SE 4th St., Suite 400, Mercer Island, WA 98040 | Phone: 206-236-1800, Fax: 206-236-1801
T 425-482-1800 www.goltsmith.com

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DOROTHY STRAND

DETAILS AND NOTES FOR STRAND PROPERTY

6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON



JOB NO. 22038

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PLAN NOTES:

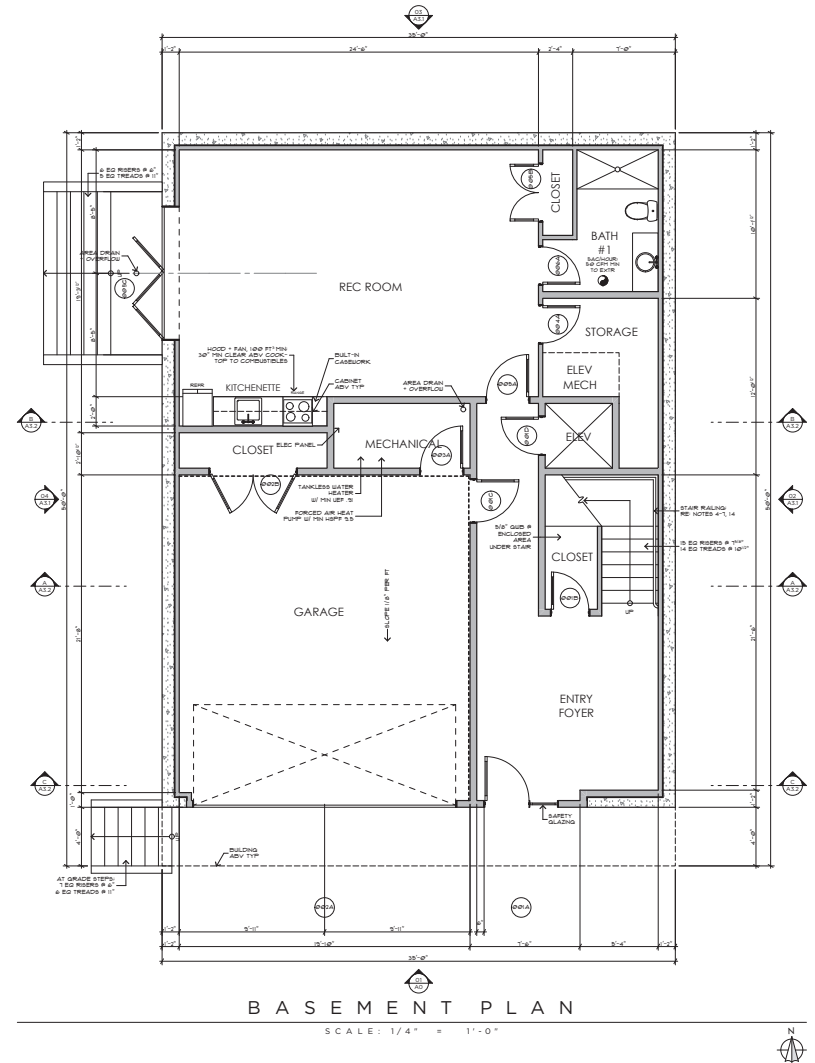
- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, & CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES & REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2-4" UNK.
- ALL INTERIOR WALLS SHALL BE 2-4" UNK.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOISING WITH A GRADE CHANGES BETWEEN 11" - 12".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NISSEL POST.
- ALL GUARDSAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE HANDBAR OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDSAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDSRAIL INFILL COMPONENTS.
- 5/8" DIMS AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS & BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 12" DIMS MINIMUM.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITH EACH DWELLING UNIT PER SEC 8405.1.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHT FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
- ALL SHOWERHEADS & KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 175 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 120 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER MSD1 AND MSD2.
- ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7 1/4" RISE, MINIMUM 10" TREAD.
 - MINIMUM 6" OF HEADROOM.
 - MINIMUM LANDING LENGTH 58"
- CONTRACTOR TO COMPLETE AND POST INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION FROM WITHIN 2' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.
- WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM FOR SEC 8402.5.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- REGULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.10 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM UNCONDITIONED SPACE TO UNCONDITIONED SPACES) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILING OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAME WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ BATHS & LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM 8" OF 5/8" (MIN) AISC COBALT 50.
- AT CRAWLSPACES THE NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FTF FOR EACH 300 FTF OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 1' OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 8402.4 THROUGH 8402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

LOT AREA:	8,700 FT ²
MAXIMUM ALLOWABLE GFA:	(40%) 3,500 FT ²
BASMENT GFA (EXCLUDED):	(15%) 1,350 FT ²
FIRST FLOOR GFA:	1,688 FT ²
SECOND FLOOR GFA:	82 FT ²
SECOND FLOOR COVERED DECK GFA:	82 FT ²
TOTAL GROSS FLOOR AREA:	(29.9%) 3,498 FT²



BASEMENT PLAN

SCALE: 1/4" = 1'-0"



MERCER RESIDENCE
6950 SE MAKER ST. MERCER ISLAND, WA

BASEMENT FLOOR
PLAN

RELEASE
21 MARCH 2022

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PLAN NOTES:

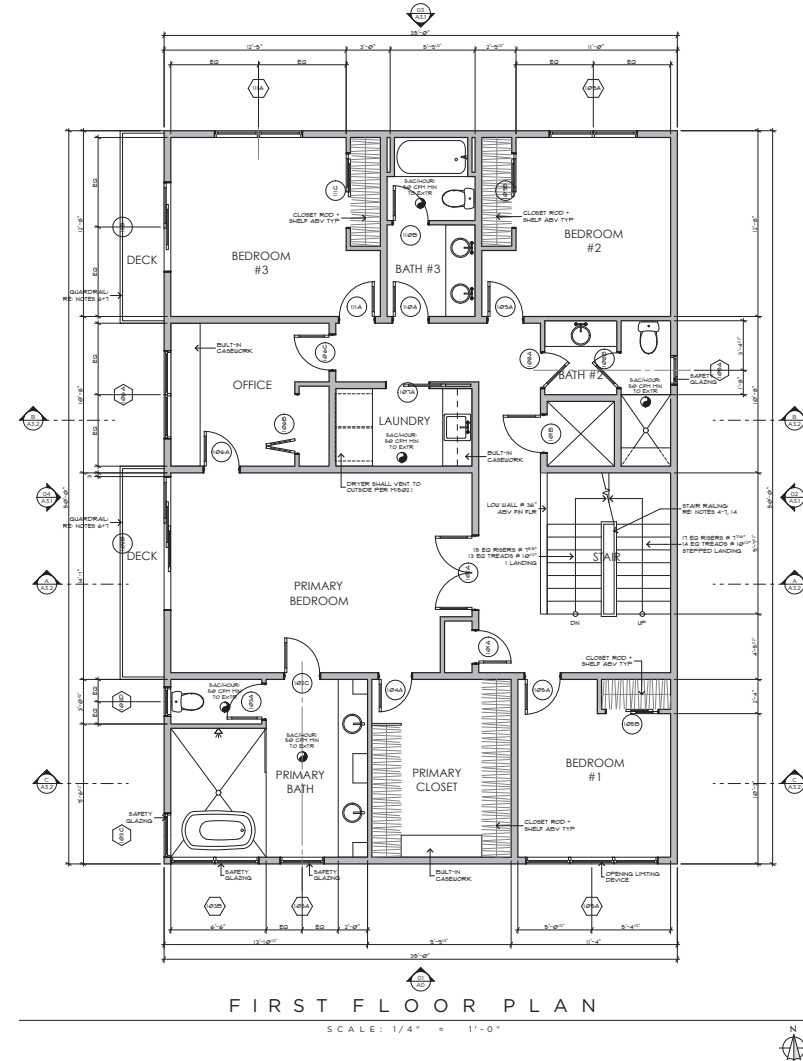
- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, & CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES & REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2-1/2" U-100.
- ALL INTERIOR WALLS SHALL BE 2-1/2" U-100.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOISING WITH A GRASP DIMENSION BETWEEN 1" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NIPSEL POINT.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" SIP @ 16" ON CENTER AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS & BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 12" OVER MINIMUM.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITH EACH DWELLING UNIT PER SEC 800.11.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHT FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
- ALL SHOWERHEADS & KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 175 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.5 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER MSD-1 AND MSD-2.
- ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7 1/4" RISE, MINIMUM 10" TREAD.
 - MINIMUM 8" HEADROOM.
 - MINIMUM LANDING LENGTH 58".
- CONTRACTOR TO COMPLETE AND POST INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION FROM WITHIN 2' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.
- WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SEC 900.2.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0-30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0-10 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM UNCONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0-20 U-FACTOR MIN.
 - ALL CEILING OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILING SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-20 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAME WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
 - PROVIDE 80 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
 - PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ BATHS & LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM 8" OF 1/2" (MIN) AIR CLEARANCE.
- AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FTF FOR EACH 500 FTF OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 7' OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 900.2.4 THROUGH 900.2.4.4, WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

LOT AREA:	8,700 FT ²
MAXIMUM ALLOWABLE GFA:	(40%) 3,500 FT ²
BASMENT GFA (EXCLUDED):	(15%) 1,300 FT ²
FIRST FLOOR GFA:	1,688 FT ²
SECOND FLOOR GFA:	82 FT ²
SECOND FLOOR COVERED DECK GFA:	82 FT ²
TOTAL GROSS FLOOR AREA:	(29.9%) 3,498 FT²



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
 MERCER RESIDENCE
 6950 SE MAKER ST. MERCER ISLAND, WA

RELEASE
21 MARCH 2022

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PLAN NOTES:

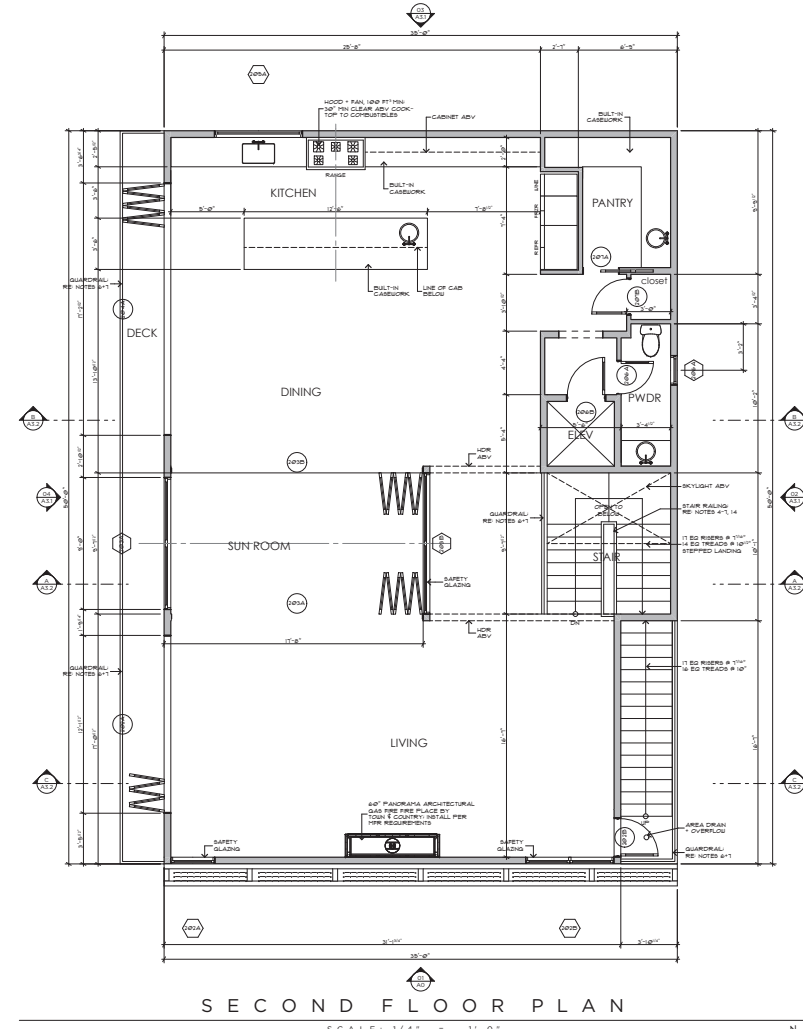
- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, & CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES & REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2-4" UNK.
- ALL INTERIOR WALLS SHALL BE 2-4" UNK.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOISING WITH A GRASP DIMENSION BETWEEN 1" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NISSEL POST.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" SWG AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS & BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 12" GWR MINIMUM.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITH EACH OCCUPYING UNIT PER SEC 84051.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHT FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
- ALL SHOWERHEADS & KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 175 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.5 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER MO21 AND MO22.
- ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7/8" RISE, MINIMUM 6" TREAD.
 - MINIMUM 7" HEAD ROOM.
 - MINIMUM LANDING LENGTH 58".
- CONTRACTOR TO COMPLETE AND POST INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION FROM WITHIN 2" OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.
- WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SEC MO22.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.10 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM UNCONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILING OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILING SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAME WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 2" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ BATHS & LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM 8" OF 5/8" (MIN) AISC CORST 301.
- AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FTF FOR EACH 300 FTF OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 7' OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 8402.4 THROUGH 8402.4.4, WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

LOT AREA:	8,700 FT ²
MAXIMUM ALLOWABLE GFA:	(40%) 3,500 FT ²
BASEMENT GFA (EXCLUDED):	(15%) 1,300 FT ²
FIRST FLOOR GFA:	1,688 FT ²
SECOND FLOOR GFA:	82 FT ²
SECOND FLOOR COVERED DECK GFA:	82 FT ²
TOTAL GROSS FLOOR AREA:	(29.9%) 3,450 FT²



MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA

SECOND FLOOR PLAN

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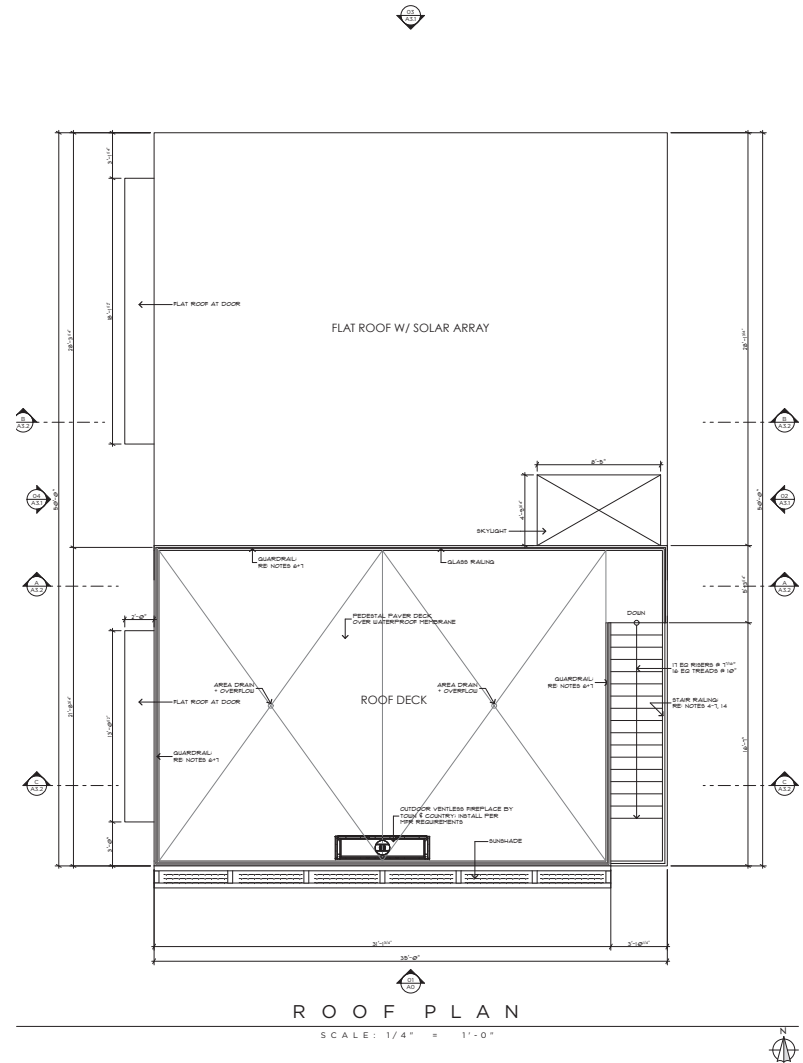
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ROOF NOTES:

- CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABOV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
- COORDINATE DOWNPOUT LOCATION W/ JEFFREY ALMETER, INC PRIOR TO INSTALLATION.
- ALL VENTS SHALL BE LOCATED AWAY FROM VISIBILITY @ PUBLIC RIGHT-OF-WAY.
- TRUSS MANUFACTURERS TO PROVIDE TRUSS SHOP DRAWINGS TO JEFFREY ALMETER FOR DESIGN APPROVAL A MINIMUM OF 10 BUSINESS DAYS PRIOR TO TRUSS MANUFACTURING.

WSEC 2018 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL DOWNWARD GLAZING SHALL BE 0.10 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILING OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAME WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATH + LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM 8" OF CRAWLSPACE OVER CREDIT 501.
- AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 500 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 9'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE. EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS. OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.41 THROUGH R402.44. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

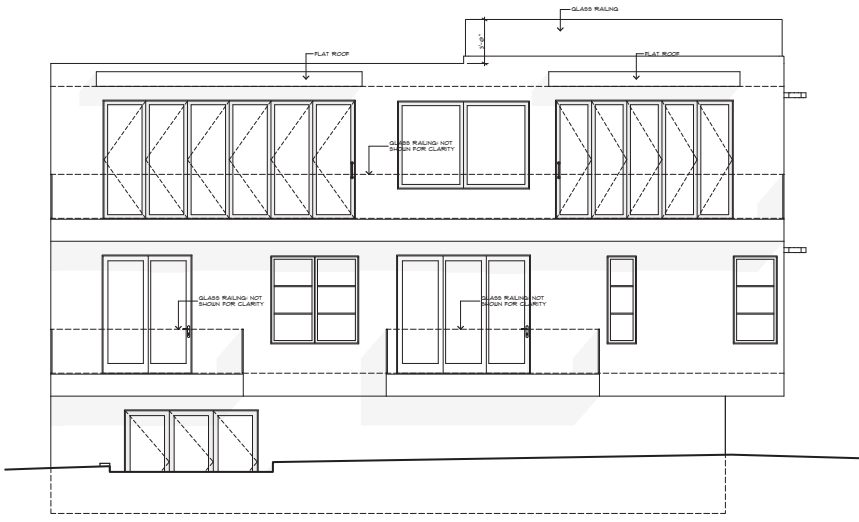


MERCER RESIDENCE
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ROOF PLAN

RELEASE
21 MARCH 2022

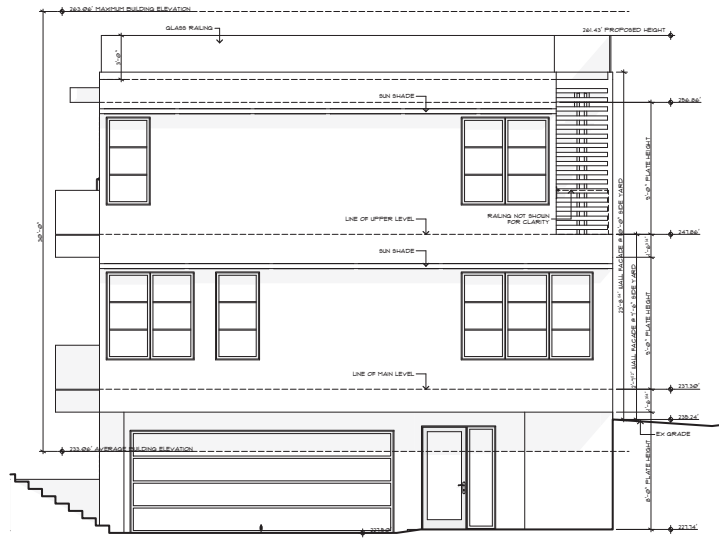
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WEST ELEVATION

2

SCALE: 1/4" = 1'-0"



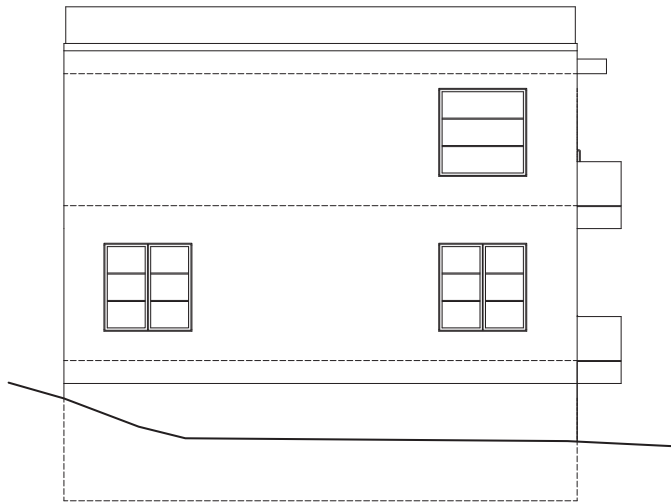
SOUTH ELEVATION

1

SCALE: 1/4" = 1'-0"

AVERAGE BUILDING ELEVATION CALCCS:

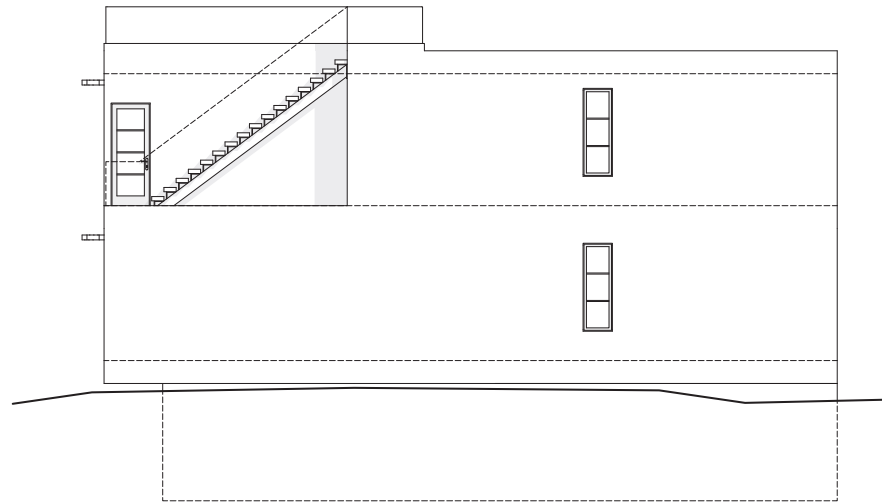
SEGMENT "A" ELEVATION:	233.00'
SEGMENT "A" LENGTH:	18'
SEGMENT "A" ELEVATION x LENGTH:	4194.00 FT'
SEGMENT "B" ELEVATION:	232.25'
SEGMENT "B" LENGTH:	10'
SEGMENT "B" ELEVATION x LENGTH:	2322.50 FT'
SEGMENT "C" ELEVATION:	231.5'
SEGMENT "C" LENGTH:	10'
SEGMENT "C" ELEVATION x LENGTH:	2315.00 FT'
SEGMENT "D" ELEVATION:	230'
SEGMENT "D" LENGTH:	10'
SEGMENT "D" ELEVATION x LENGTH:	2300.00 FT'
SEGMENT "E" ELEVATION:	229.25'
SEGMENT "E" LENGTH:	10'
SEGMENT "E" ELEVATION x LENGTH:	2292.50 FT'
TOTAL OF AGGREGATE ELEVATION:	39,827.00
TOTAL OF SEGMENT LENGTHS:	170'
AVERAGE BUILDING ELEVATION:	233.99'



NORTH ELEVATION

4

SCALE: 1/4" = 1'-0"



EAST ELEVATION

3

SCALE: 1/4" = 1'-0"

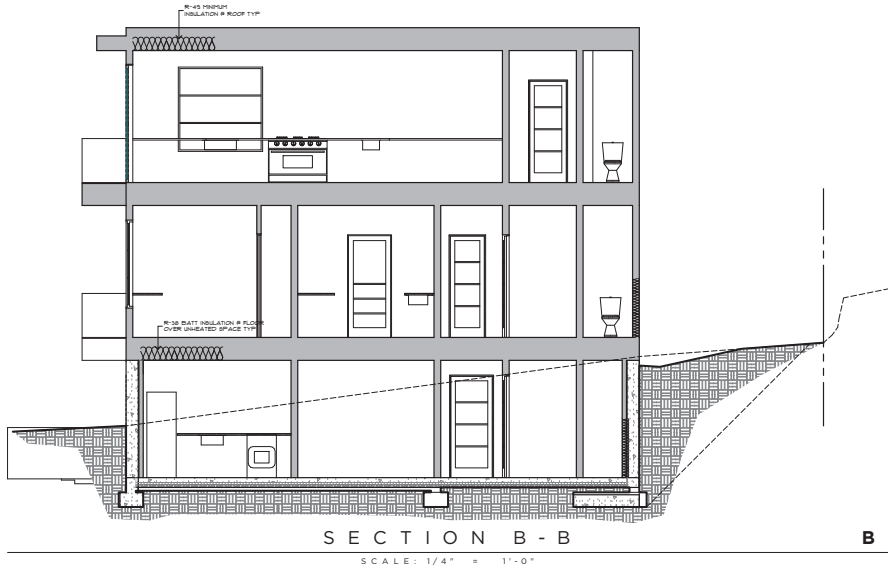
MERCER RESIDENCE
6950 SE MAKER ST. MERCER ISLAND, WA

BUILDING ELEVATIONS

RELEASE
21 MARCH 2022

A 3.1

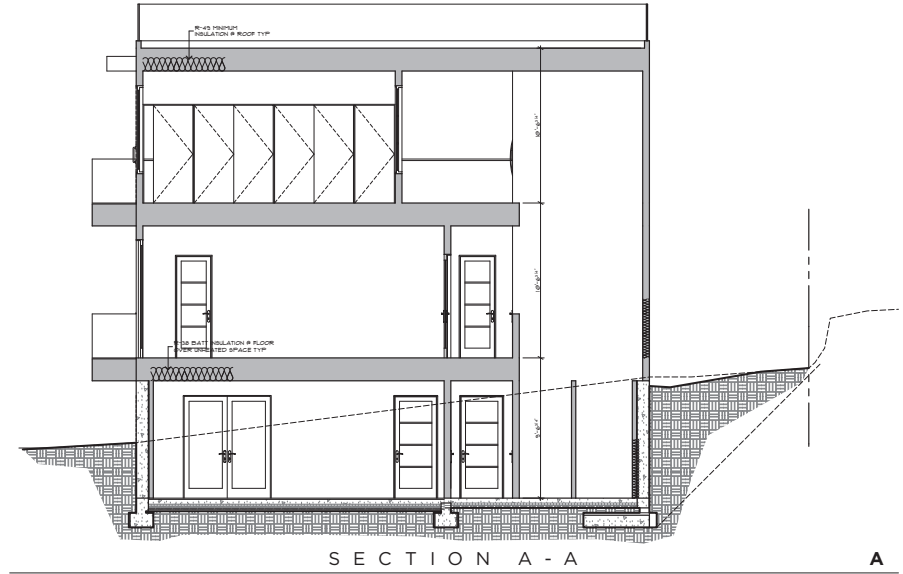
MAKER AVE



SECTION B - B

SCALE: 1/4" = 1'-0"

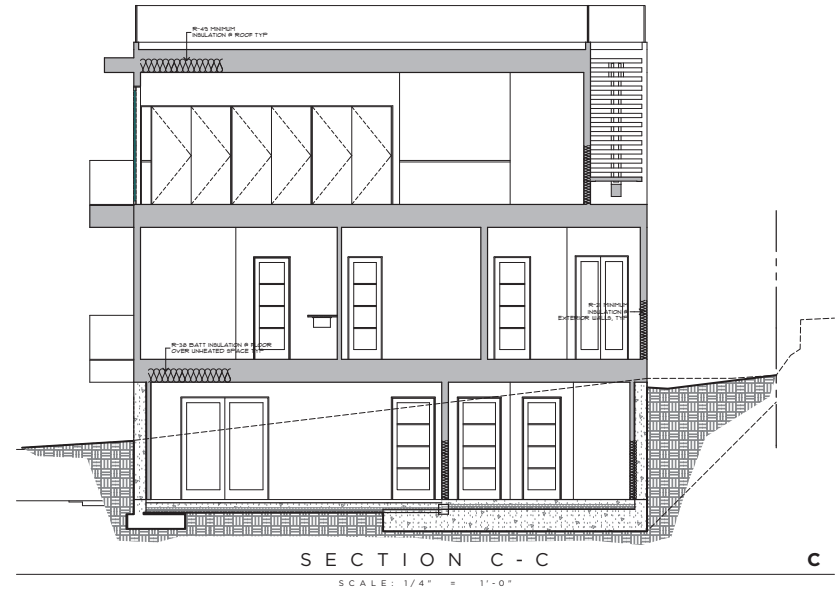
B



SECTION A - A

SCALE: 1/4" = 1'-0"

A



SECTION C - C

SCALE: 1/4" = 1'-0"

C



MERCER RESIDENCE
6950 SE MAKER ST. MERCER ISLAND, WA

BUILDING SECTIONS

RELEASE
2 APRIL 2022

A 3 . 2

MAKER AVE

STRUCTURAL NOTES:

CODE:
 CODE: INTERNATIONAL BUILDING CODE 2006 SEATTLE BUILDING CODE 2006, ASCE/SEI 1-16
 LOADS: ROOF LIVE/DEAD: 25 PSF FLOOR LIVE: 40 PSF DECK LIVE: 40 PSF
 ROOF DEAD: 25 PSF (INCLUDE SOLAR PANEL, ROOF DEAD: 10 PSF ROOF DECK DEAD: 10 PSF)
 WIND: 140 MPH EXPOSURE B, K=1.05
 WIND: 140 MPH EXPOSURE B, K=1.05

FOUNDATIONS:
 EXISTING FOOTINGS TO REMAIN UNDISTURBED SOIL ALLOWABLE BEARING CAPACITY OF 3000 PSF. ALL EXTERIOR FOOTINGS SHALL EXTEND A MINIMUM OF 1'-6" BELOW ADJACENT EXTERIOR FINISH GRADE. USE ACTIVE EARTH PRESSURE 30 PSF (NORTH) 15 PSF (EAST) WALL FOR LATERAL EARTH PRESSURE AND 30 PSF INCREASING INCREASE OF 50 UNIFORM DISTRIBUTION FOR CONCRETE. SEE THE SOIL REPORT # IN 2007001 FROM GEOTECH CONSULTANTS, INC. (MARCH 21, 2022) FOR THE ADDITIONAL RECOMMENDATIONS OF SLAB ON GRADE, CONSTRUCTION AND ETC.

CAST-IN-PLACE CONCRETE:
 FC=3000 PSI + 28 DAYS, MINIMUM 3-1/2 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 3" OR LESS. MAXIMUM SIZED AGGREGATE 1-1/2 INCHES CONCRETE SHALL BE MIXED PROPORTIONS, COMPLETED AND PLACED IN ACCORDANCE WITH BEST PRACTICES FOR POURING AND CURING TESTING PROCEDURES. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. ALL REINFORCING STEEL DOUBLES ANCHOR BOLTS AND OTHER DETAILS SHALL BE SECURED IN POSITION PRIOR TO POURING CONC.

REINFORCING STEEL:
 ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION BY CSI. DEFORMED REINFORCING STEEL BARS SHALL CONFORM TO ASTM GRADES 60. ALL REINFORCING BAR ENDS SHALL BE MADE COLD, WITH A MINIMUM RADIUS OF 6 BAR DIAMETERS (7-1/2" MINIMUM). CORNER BARS (7-0" BEND) SHALL BE PROVIDED FOR ALL HORIZONTAL REINFORCEMENT. LAP ALL BARS A MINIMUM OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE. IN LESS OTHERWISE NOTED ON THE DRAWINGS REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVER:
 CONCRETE CAST AGAINST EARTH 3"
 CONCRETE EXPOSED TO EARTH OR WEATHER 1 1/2"
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER 1/2"
 1/2" BAR AND SMALLER 1/2"
 SLAB-ON-GRADE (FROM TOP SURFACE) 1 1/2"

STRUCTURAL TIMBER:
 ALL GRADES SHALL CONFORM TO UMPA GRADING RULES FOR WESTERN LUMBER, LATEST EDITION. PROVIDE CUT WASHERS AND NAILS BEARING AGAINST WOOD. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
 ALL STRUCTURAL LUMBER SHALL BE NOTED BELOW
 6x4 beam 1 POST, 2x6 STUDS, 2x6 2x10 DOUGLAS-FIR / LARCH 2
 2x6 Stud with 1/2" PLYWOOD WALL SHTG
 INTERIOR 2x STUDS, LUMBER NOT NOTED HEM-FIR 2
 MISCELLANEOUS HANGERS TO BE 2810PN OR APPROVED EQUAL. ALL HANGERS SHALL BE FASTENED TO WOOD WITH MAXIMUM NAILS-ALL HOLES SHALL BE NAILED. ALL NAILS SHALL BE COPPER WIRE NAILS. PROVIDE NAILING SCHEDULE IN ACCORDANCE WITH '18C, 2008' TABLE 2304(B) FASTENING SCHEDULE.

ROOF & FLOOR SHEATHING:
 ROOF SHEATHING SHALL BE 5/8" APA RATED SHEATHING, 5-PLY, SPAN RATINGS 32/36, INSTALLED LONG DIMENSION ACROSS SUPPORTS. PANEL END JOINTS SHALL OCCUR AT SUPPORTS NAIL AT PANEL EDGES WITH 10d COMMON (40d/48d/54d) @ 6" O.C. AND 12" O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING SHALL BE 5/8" 11gs SPAN RATINGS 40/30 WITH 10d COMMON @ 6" O.C. (EDGE) AND 12" O.C. (INTER). USE 10d SCREWS 15" LONG IN LINE OF 10d COMMON NAILS AT FLOOR CONCRETERS OPTION. INSTALL PLYWOOD CLIP AT 48 INCHES ON CENTER. BLOCKING IS REQUIRED ALL PANEL EDGES.

ANCHOR BOLTS:
 ANCHOR BOLTS TO BE 4-10T OR BETTER. ANCHOR BOLTS INTO CONCRETE SHALL BE 5/8" WITH 1" INCHES OF EMBEDMENT AND BRACED NOT MORE THAN 4" SPACING. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH BOLT LOCATED NOT MORE THAN 2 INCHES OR NOT LESS THAN 4 INCHES FROM EACH END OF EACH PIECE. A PROPERLY SIZED NUT WITH 3/8"x3/4" PLATE WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT TO THE 3/4" TIGHTENING PLATE.

PLYWOOD OR OSB WEB JOISTS:
 JOISTS ARE SHOWN ON PLANS A-T-2 TO BE THIS JOIST OR EQUAL. JOIST ASSEMBLY TO TESTED UNDER '18C 2008' TESTING PROCEDURES. COMPLETE JOIST BEARING BEARING THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER TO BE SUBMITTED FOR REVIEW. JOIST MANUFACTURER SHALL PROVIDE ALL SPECIFICITY ITEMS FOR A NORMAL, AND COMPLETE INSTALLATION OF THE JOISTS. INSTALL DOUBLE JOISTS UNDER PARTITIONS EXTENDING ONE HALF OR MORE OF JOIST SPAN.

MICROLAM PARALLAM (PSL):
 PARALLAM SHOWN ON PLAN TO BE TRUS JOIST MICROLAM 22E OR APPROVED EQUAL. OTHER THAN MICROLAM 22E SHALL HAVE 1200 APPROVALS SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW.
 FC=2600 PSI, Fv = 280 PSI, Ec = 650 PSI, Et = 20000000 PSI.

MICROLAM (LVL):
 MICROLAM SHOWN ON PLAN TO BE LEVEL TRUSS JOIST MICROLAM 20E OR APPROVED EQUAL. OTHER THAN MICROLAM 20E SHALL HAVE 1200 APPROVALS SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW.
 FC=2600 PSI, Fv = 280 PSI, Ec = 750 PSI, Et = 20000000 PSI.

GLUED-LAMINATED TIMBER:
 LAMINATED TIMBER SHALL BE DOUGLAS-FIR/LARCH K111 DRIED, STRESS GRADE COMPOSITION 24F-V4 (FD=1400 PSI, Fv=165 PSI) FOR SIMPLE SPAN, A112, CERTIFICATE OF CONFORMANCE REQUIRED. GLU-LAM'S SHALL CONFORM TO A112, STANDARDS FABRICATOR SHALL SUBMIT DETAILS AND SPECIFICATIONS TO THE ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION.

STRUCTURAL STEEL:
 WIDE FLANGE SHAPES TO BE ASTM A992, GRADE 50 Fy = 50 KSI. CHANNELS, ANGLES, AND PLATES TO BE ASTM A58, Fy = 36 KSI. W8 SECTIONS SHALL BE ASTM A588, GRADE 50, Fy = 46 KSI. ALL WELDS TO BE 3/16" MINIMUM CONTINUOUS FILLET, BY CERTIFIED WELDERS USING E70XX ELECTRODES. ALL WELDS SHALL CONFORM TO THE LATEST EDITION OF AWS D11. BOLT SHALL BE BEARING TYPE CONNECTIONS USING A305-N BOLTS. ALL BOLTS SHALL BE INSTALLED WITH HARDEN WASHERS CONFORMING TO ASTM F436 AND NUTS CONFORMING TO ASTM F436. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPP GALVANIZED. ALL STEEL NOT EXPOSED TO WEATHER SHALL BE SHOP PRIMED.

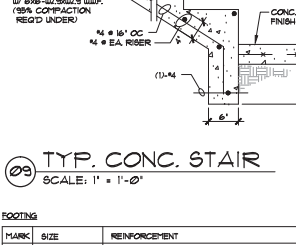
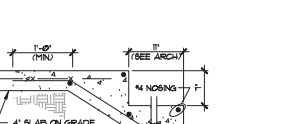
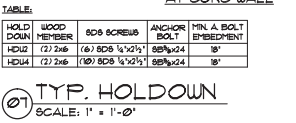
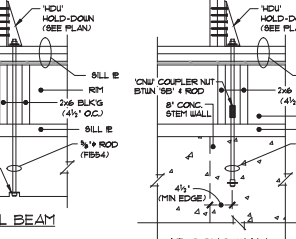
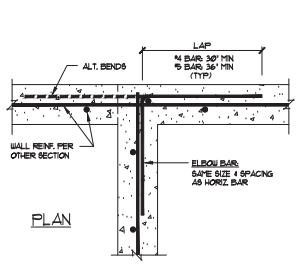
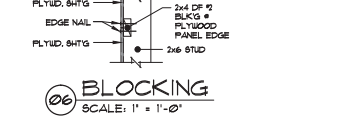
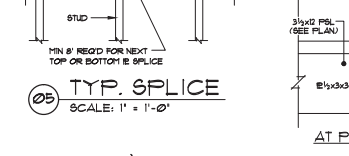
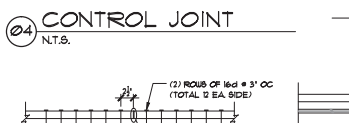
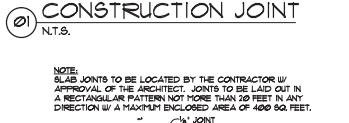
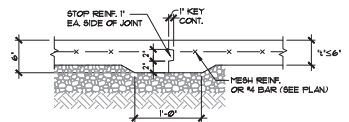
SPECIAL CONDITIONS:
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AS REQUIRED UNTIL PERMANENT CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED. THE CONTRACTOR SHALL VERIFY SIZE AND ALL LOCATIONS OF ALL OPENINGS IN THE FLOOR, ROOF, AND WALLS WITH ALL THE APPROPRIATE DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING DEPARTMENT FOR ALL BUILDING DEPARTMENT REQUIRED INSPECTIONS. DO NOT SCALE THE DRAWINGS. THE DETAILS SHOWN ARE TYPICAL AND SHALL BE USED FOR LIKE OR SIMILAR CONDITIONS NOT SHOWN.

SPECIAL INSPECTIONS:
 PROVIDE SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER 11 OF '18C 2008' FOR FOLLOWING:
 REINFORCING & ANCHOR BOLT PLACEMENT PERIODIC & PRIOR TO ALL CONCRETE POUR
 CONCRETE PLACEMENT PERIODIC & PRIOR TO ALL CONCRETE POUR
 CURING & FORM WORK PROCEDURES PERIODIC INCLUDING INSPECTION OF CURE CLEANLINESS & PREVENTION TESTS PRIOR TO ALL INSTALLATION
 EXPANSION BOLTS & INSERTS PERIODIC INCLUDING TORQUE TESTS
 EPOXY GROUTED JOINTS & REBAR PERIODIC INCLUDING INSPECTION OF JOIST CLEANLINESS & PREVENTION TESTS PRIOR TO ALL INSTALLATION
 SOIL COMPACTION CONTINUOUS

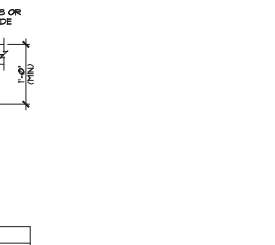
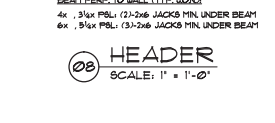
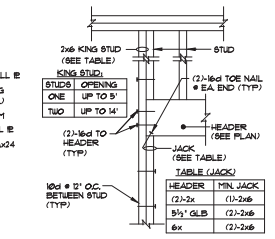
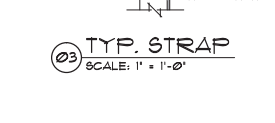
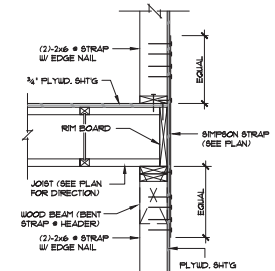
TYPICAL EXTERIOR WALL CONSTRUCTION:
 1. SHEATHING 1/2" APA RATED SHEATHING, EXTERIOR GLEE EXTERIOR SIDE OF WALL PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS. ALL PANEL EDGES BLOCKED, NAILING: 63d/48d/54d NAIL @ 6" O.C., EDGES AND BOUNDARIES 63d/48d/54d NAIL @ 12" O.C., FIELD.
 2. BOLTS AT FT, 2x6 BULL PLATE TO CONCRETE WITH 3/4" A BOLT @ 48" O.C.
 A. BOLTS TO BE PLACED 4" TO 12" FROM END OF EACH PLATE. ALL A. BOLTS SHALL BE SECURED WITH 3/8"x3/4" PLATE WASHER.
 3. EXTERIOR STUD SHALL BE 2x6 DF 2
 4. FASTEN DOUBLE BOLT TO JOIST OR BLOCKING ABOVE WITH 63d/48d/54d 10E NAIL @ 6" O.C.
 5. 8d COPPER 63d/48d/54d, 10d COPPER 63d/48d/54d

MARK	APA RATED SHEATHING (1)(3)(4)	NAIL SIZE & SPACING AT PANEL EDGES (3)(4)	ADJOINING PANEL EDGES (1)(3)(10)	CLIP @ 12" O.C.	FRAMING CLIPS 435 OR LTRM OR APPROVED EQUIVALENT	FRAMING CLIPS 435 OR LTRM OR APPROVED EQUIVALENT	ANCHOR BOLT (1) (3) (11) (13)	MIN. A. BOLT EMBEDMENT (1) (3)	MIN. PLY (1) (3)	MIN. BOLT EMBEDMENT (1) (3)	MIN. BOLT EMBEDMENT (1) (3)	MIN. BOLT EMBEDMENT (1) (3)
WB	5/8" ONE SIDE	63d/48d/54d @ 6" O.C.	2x6 DF 2	CLIP @ 12" O.C.	63d/48d/54d @ 6" O.C.	63d/48d/54d @ 6" O.C.	3/4" A.B. @ 48" O.C.	2x6 DF 2	10E	10E	10E	10E
WS	5/8" ONE SIDE	63d/48d/54d @ 6" O.C.	2x6 DF 2	CLIP @ 12" O.C.	63d/48d/54d @ 6" O.C.	63d/48d/54d @ 6" O.C.	N/A	3x6 DF 2	11D	10E	10E	10E

- NOTES:**
- 1/8" 3/4" APA RATED SHEATHING (5-PLY) 32/36 (SPAN RATINGS). PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS.
 - BLOCKING IS REQUIRED AT ALL PANEL EDGES.
 - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON THE PLANS. ENDS OF FULL HEIGHT WALLS ARE DESIGNED BY EXTERIOR OF THE BUILDING CORRIDORS, ENCLOSURE OR AS DESIGNATED ON PLANS. SEE PLANS FOR HOLD-DOWN REQUIREMENTS. WALLS DESIGNATED AS PERFORATED SHEAR WALLS REQUIRE SHEATHING ABOVE AND BELOW ALL OPENINGS.
 - SHEATHING EDGE NAILING REQUIRED AT ALL HOLD-Down POST. EDGE NAILING MAY ALSO BE REQUIRED TO EACH STUD USED IN BUILT-UP HOLD-Down POST. REFER TO THE HOLD-Down DETAILS FOR ADDITIONAL INFORMATION.
 - INTERMEDIATE FRAMING TO BE WITH 2" MINIMUM MEMBERS. FIELD NAILING 63d/48d/54d @ 12" O.C.
 - BASED ON 63d/48d/54d LONG NAILS USED TO ATTACH FRAMING CLIPS DIRECTLY TO FRAMING. USE 63d/48d/54d NAILS WHERE INSTALLED OVER SHEATHING.
 - FRAMING CLIPS 435 OR LTRM OR APPROVED EQUIVALENT.
 - ANCHOR BOLTS SHALL BE PROVIDED WITH STEEL PLATE WASHER 3/8"x3/4". EMBED ANCHOR BOLTS 1" MINIMUM INTO THE CONCRETE.
 - PRESSURE TREATED MATERIAL CAN CAUSE EXCESSIVE CORROSION IN THE FASTENERS. PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES (FRAMING ANGLE, ETC) FOR ALL CONNECTIONS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
 - AT ADJOINING PANEL EDGES USE A SINGLE 3x6 DF 2 STUD FOR 1/2" SHEAR WALL.
 - CONTACT THE ENGINEER OF RECORD FOR ADHESIVE OR EXPANSION BOLT ALTERNATIVES TO CAST-IN-PLACE ANCHOR BOLTS. (SPECIAL INSPECTION WILL BE REQUIRED)
 - SHEAR WALL SCHEDULE BASED ON 2008 IBC FOR DOUG-FIR LARCH FRAMING.
 - USE SIMPSON 1/4" TITEN HD WITH STEEL PLATE WASHERS 1/2"x3/4" EMBED 3/4" MINIMUM AT EXISTING CONC. STEM WALL. INSTEAD OF 5/8" ANCHOR BOLTS.



MARK	SIZE	REINFORCEMENT
F3D	3'-6"x3'-6"x24"	(4)#4 (3'-0") EACH WAY (3" FROM BOTTOM OF FOOTING)
F4D	4'-0"x4'-0"x24"	(5)#4 (3'-0") EACH WAY (3" FROM BOTTOM OF FOOTING)



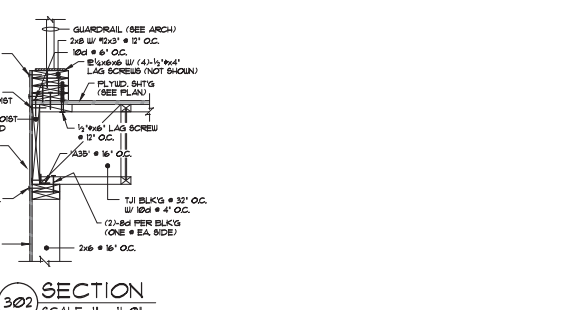
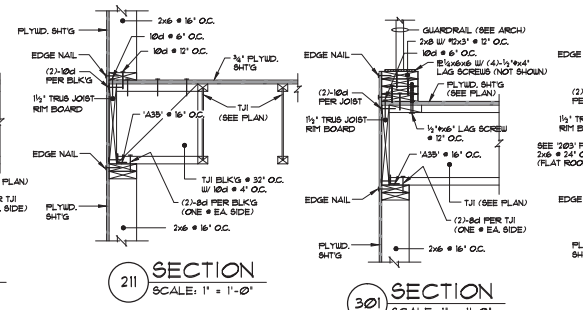
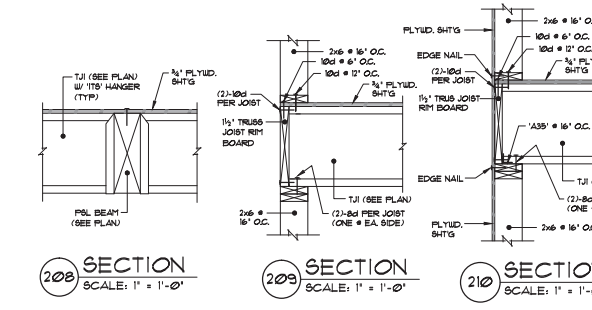
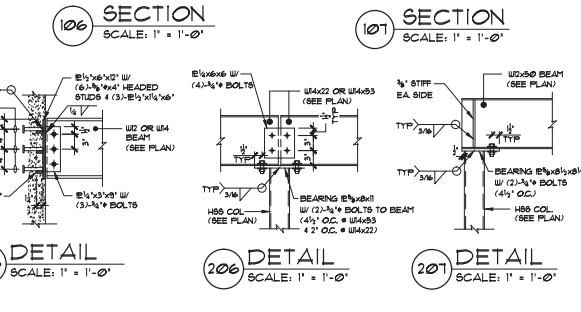
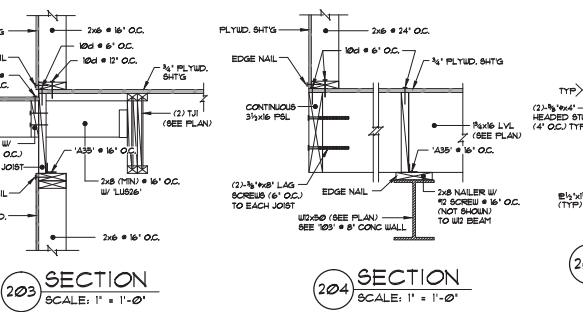
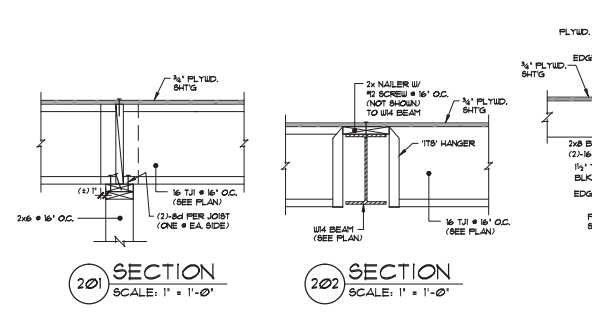
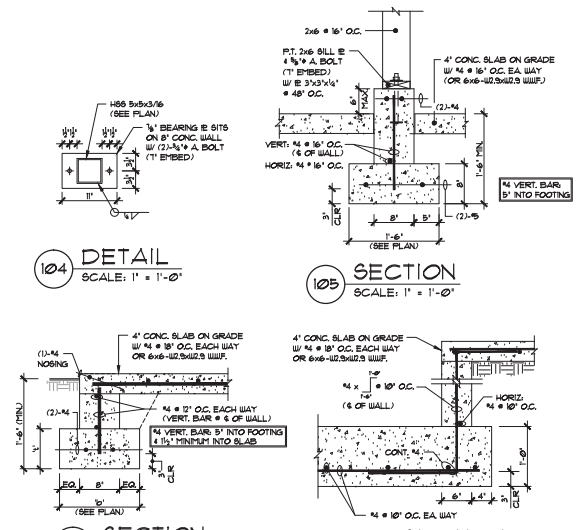
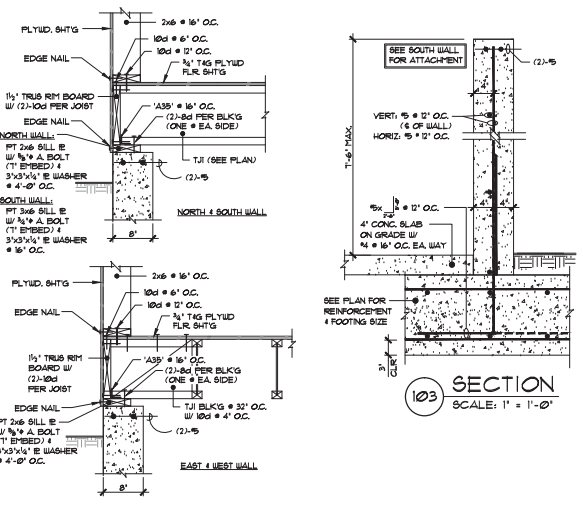
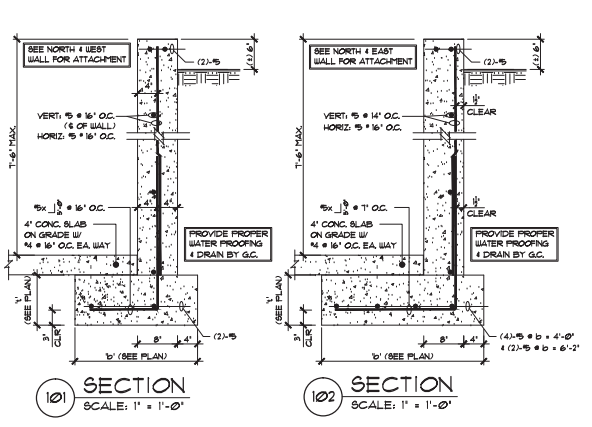
NO.	DATE	DESCRIPTIONS



MERCER RESIDENCE
 6950 SE MAKER STREET
 MERCER ISLAND, WA 98040

DATE:	May 10, 2022
SCALE:	SEE PLAN
JOB NO.:	22-300
DRAWN:	D.S.
CHECK:	D.S.
SHEET TITLE	
GENERAL NOTES DETAILS AND SECTIONS	
SHEET	

S1.0



REVISIONS:	
NO.	DESCRIPTION

D.S. Engineering
Consulting Structural Engineers
3121 147th Place SE
Mill Creek, WA 98012
T: 425-338-4776

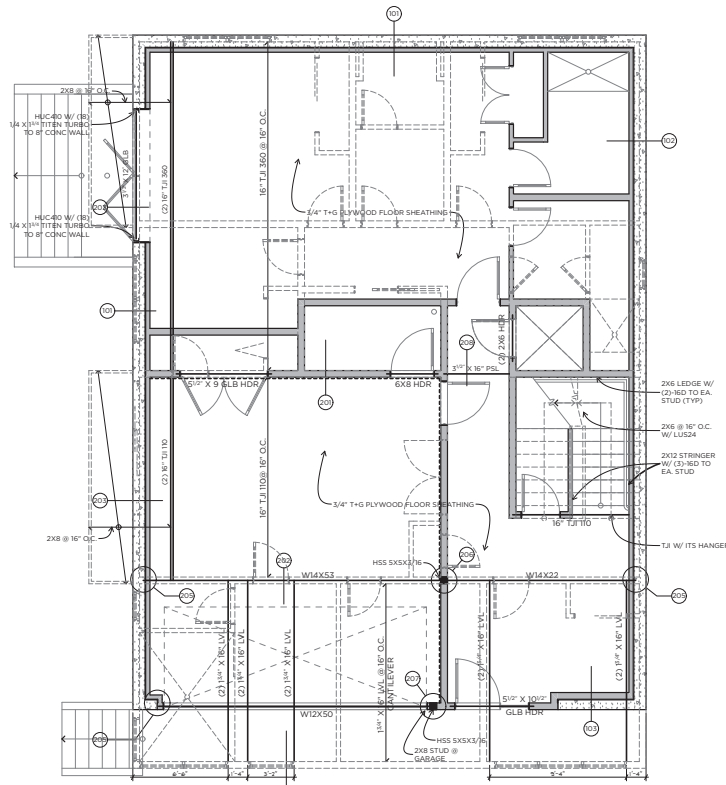


PROJECT: **MERCER RESIDENCE**
6350 SE MAKER STREET
MERCER ISLAND, WA 98040

DATE:	May 10, 2022
SCALE:	SEE PLAN
JOB NO.:	22-300
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CHECK:	D.S.

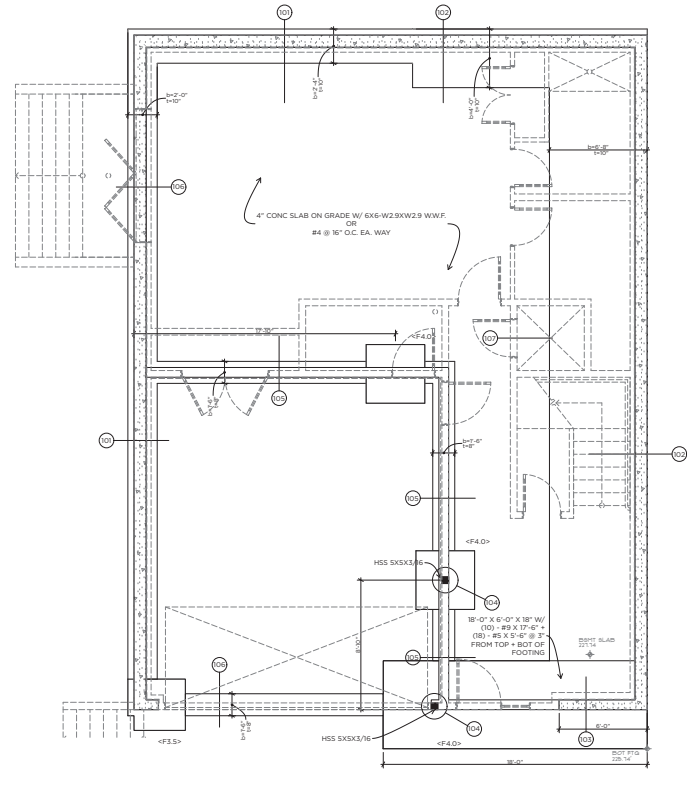
SHEET TITLE
SECTIONS & DETAILS

SHEET
S1.1



FIRST FLOOR FRAMING

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

MERCER RESIDENCE
 6950 SE MAKER ST. MERCER ISLAND, WA

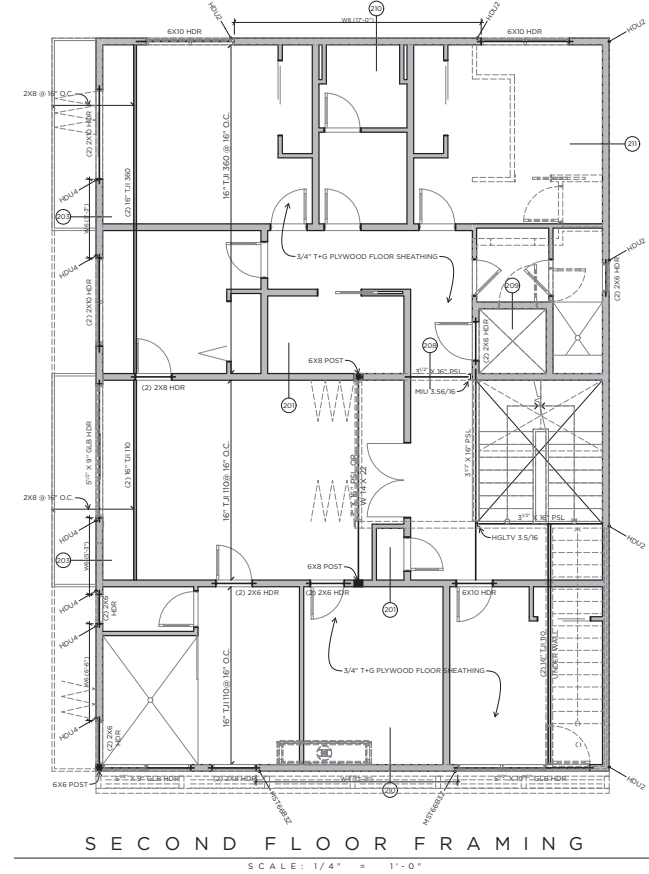
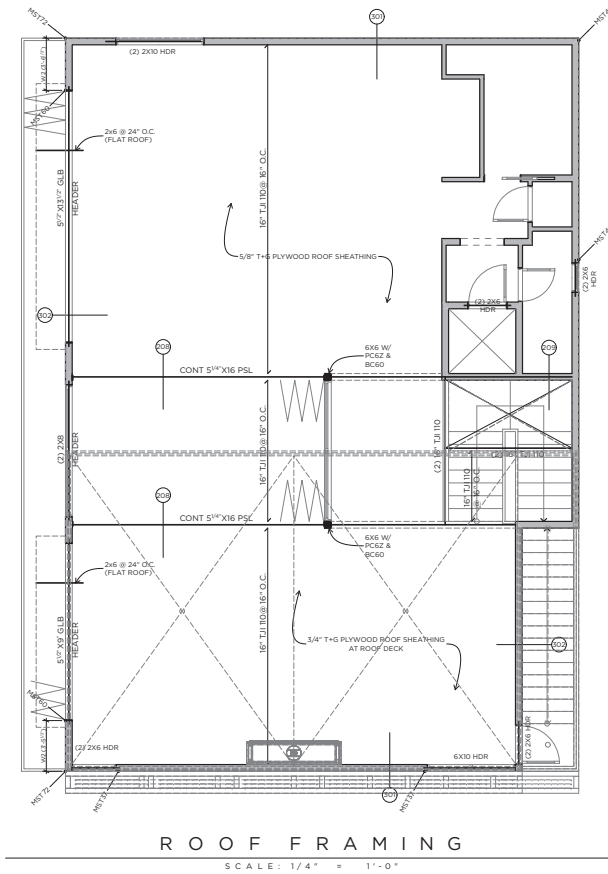
FOUNDATION +
 FIRST FLOOR
 FRAMING PLANS

RELEASE
 10 MAY 2022

S 2 . 0
 MAKER AVE



MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA



SECOND FLOOR +
 ROOF FRAMING
 RELEASE
 10 MAY 2022